

O M E Y A
GOLF & RESIDENTIAL OASIS

ARCHITECTURAL GUIDELINES

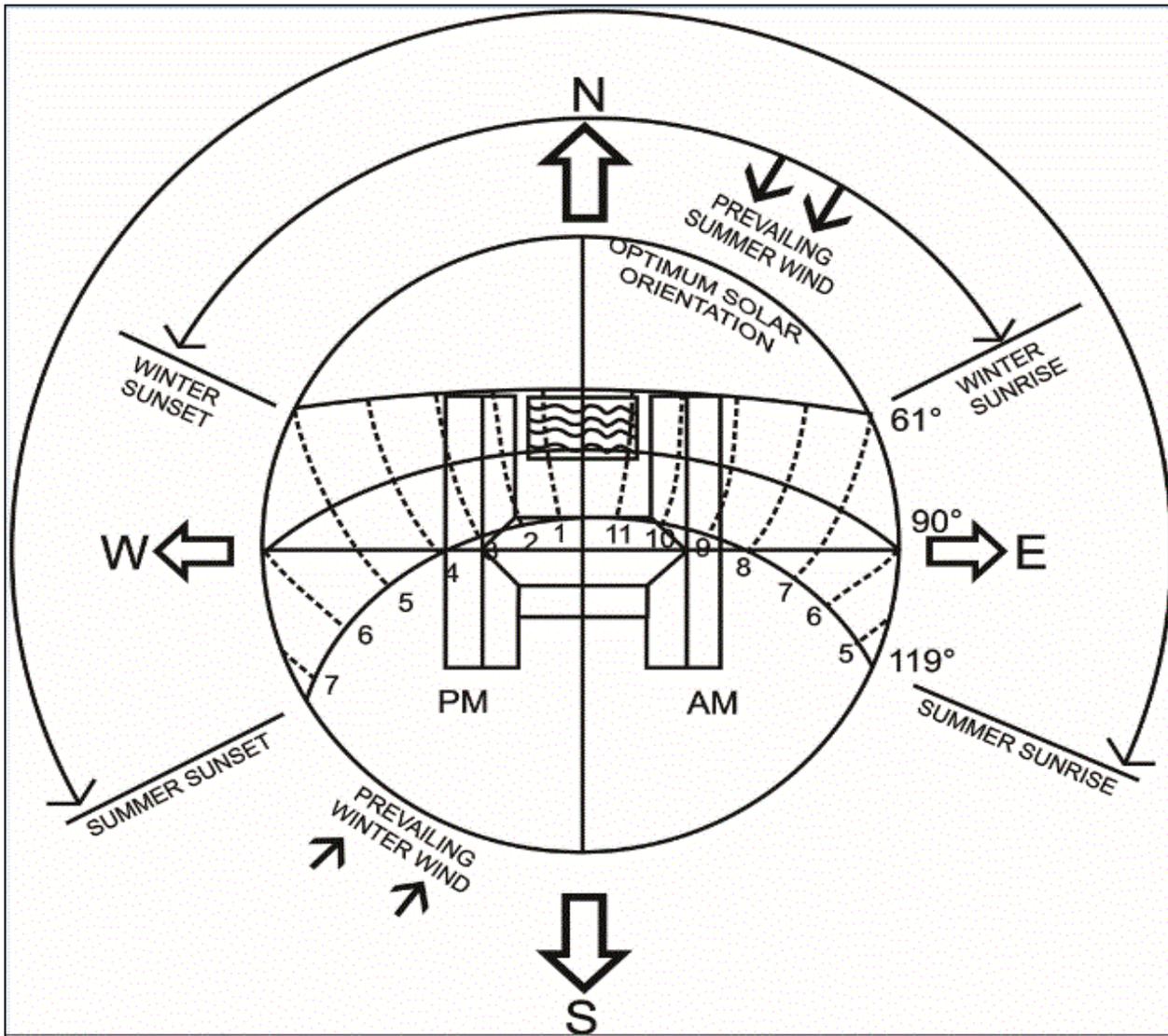
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1. INTRODUCTION

- 1.1 The Developer's intention in creating and issuing these Architectural Guidelines is to develop a unique cohesive architectural character for this development that is also an appropriate response to its sensitive environment.
- 1.2 The developer has therefore drawn up the following controls to guide homeowners on the development of their property.
- 1.3 Each homeowner is strongly advised to thoroughly review this document as it forms part of the sale agreement and is contractually binding.
- 1.4 Home owners have two ways of building a house:
 - 1.4.1 Using one of the standard house designs prepared by Omeya, House Type 1-18. There are no additional architectural charges payable to Omeya for utilizing the plans, except for architect supervision and layout fees and costs relating to complying with the City of Windhoek building submissions, or
 - 1.4.2 Appoint an architect/designer/draughtsperson to design a special house on a specific erf within the architectural guidelines of Omeya.
- 1.5 House Types 1-18 conforms to the requirements of the Architectural guidelines while specific unique house designs must be designed according to these guidelines. Please note that architects supervision and layout fees for unique houses and to Types 1-18 are not included and must be negotiated with the architect/designer/draughtsperson.
- 1.6 Any such unique plans must be prepared only by the architect/designer/draughtsperson in accordance with these guidelines and must be approved by the Omeya Home Owners Association Architectural Committee ("OAC").
- 1.7 Any future alteration to the built forms/landscaping, must be approved by the OAC and must comply with these guidelines.
- 1.8 Although house type 1-18 conforms to the requirements of the Architectural guidelines, they must also be approved by the OAC, especially the layout of the house on the erf.
- 1.9 Compliance with the guidelines presented in this document does not imply proposals will be approved. The proposal must also comply with the spirit and architectural ethos of the Omeya Golf Estate. This compliance will be judged solely by the OAC.
- 1.10 These guidelines are supplementary to the requirements of the Local authority/designated peri-urban authority.
- 1.11 The guidelines should be seen as an instrument to maintain an overall design sensitivity, whilst allowing flexibility for individual expression.
- 1.12 The OAC reserve the right to interpret this manual and approve plans at its discretion.
- 1.13 Where the OAC permit variations, these are in respect of specific site conditions, and should not be considered as a permanent amendment to the manual.

1.14 Any reference to approved by the Home Owners Association is by definition approval by the OAC.



2. OPTIMUM HOUSE ORIENTATION

2.1 The optimum orientation for houses is with living rooms to the North, and North East, and with garden and outdoor living areas to the East and North East, depending on views and on personal preference. In addition, with this orientation, the back of the house forms a barrier to the winter winds.

3. BUILDING ENVELOPE



The Architectural Character that will form the Omeya Golf Estate will primarily be a combination of sophisticated farmhouse architectural elements and the creative use of natural building materials.

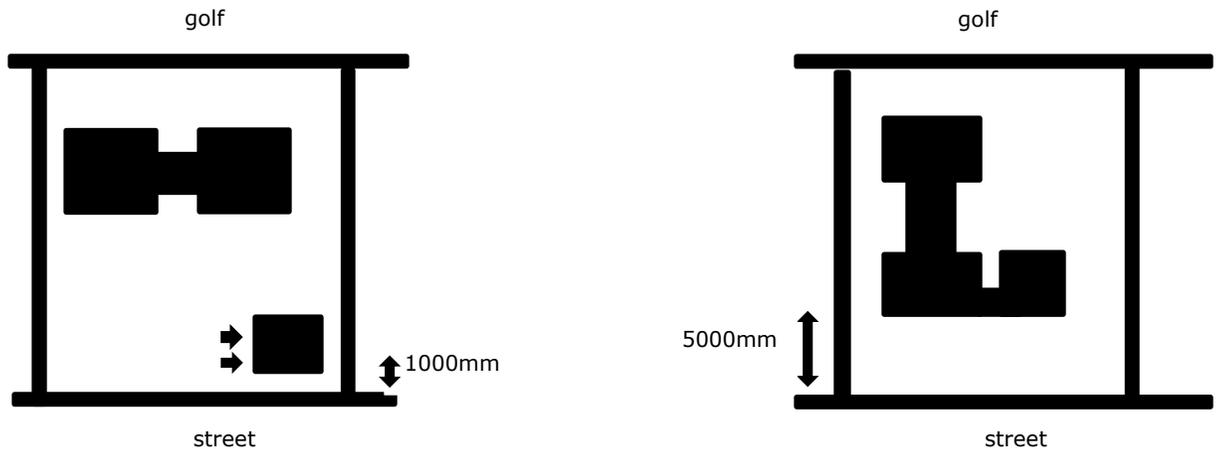
Certain forms, materials and colours have been excluded in the interest of this unique architectural character.

3.1 General Guidelines

- 3.1.1 Only **one** dwelling will be permitted per site.
- 3.1.2 No outbuildings will be allowed other than a garage and/or a carport where indicated.
- 3.1.3 The maximum coverage (footprint) of an erf will be 50%. Please make sure that where standard house designs are used (house type 1 to 18 as stated in 1.4) they comply with the maximum coverage of 50%.
- 3.1.4 The property may not be less than 4 times the municipal valuation of the land.
- 3.1.5 The garage may be detached from the main building.

3.2 Building Lines

- 3.2.1 The building line from the street/road reserve is 5000mm for the main building.
- 3.2.2 Garage's/carport's facing away from the street must be a minimum distance of 1000mm from the street facing erf boundary.
- 3.2.3 Garage's/carport's facing the street must be a minimum distance of 5000mm from the street facing erf boundary.



3.3 Site boundary/Common Boundary (single storey homes)

- 3.3.1 Buildings on erven between 16m-22m wide (or less) (see red erven on attached map in this category):
- Can be built on the erf boundary line bordering the neighbouring site. No windows in this case will be allowed on this wall. Where the distance is 1.5m – 3m from the boundary line bordering the neighbouring site, building can be erected. No windows in this case will be allowed without the consent of the authorised neighbour and local authority.
- 3.3.2 Buildings on erven between 22-30m (see blue erven on attached map in this category):
- Must leave a minimum space of 3000mm on one side of the site to the neighbouring erf, unless they obtain approval from their neighbours and local authority.
- 3.3.3 Building on erven wider than 30m (see purple erven on attached map in this category) must leave a minimum space of 3000mm on both sides of the site to the neighbouring erf, unless they obtain approval from their neighbours and local authority.
- 3.3.4 Except for the above all the building line regulations, regulations of the local authority must be adhered to as well.

3.4 Site boundary/Common Boundary (double storey homes)

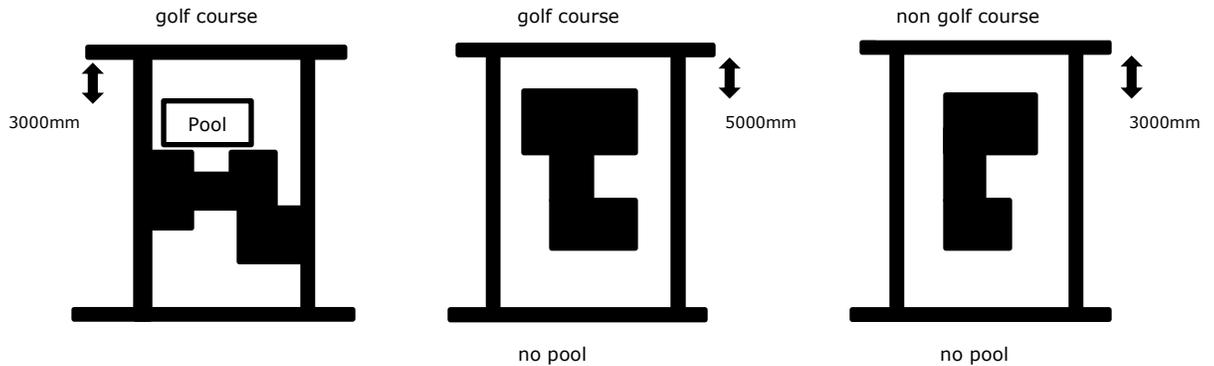
- 3.4.1 Buildings on erven between 16m-22m wide (or less) (see red erven on attached map in this category)
- Cannot build a double storey home unless there is at least 5m between the erf and the next erf open on the side where the double storey building is. This is because the building restrictions of 5000mm on both sides will not allow a double storey home to suitably fit onto an erf of this size. This building line cannot be reduced.
- 3.4.2 Where there is 5m open between the erf and the next erf and a double storey is planned to be built, the building must be 1.5m from the erf boundary on the open side and 5m from the erf boundary which is connected to an erf.
- 3.4.3 Buildings on erven wider than 22m (see blue and purple erven on attached map in this category)
- must leave a minimum space of 5000mm on both sides of the site to the neighbouring erf. The building line cannot be reduced.
- 3.4.4 Except for the above all the building line regulations, regulations of the local authority must be adhered to as well.
- 3.4.5 The minimum size of an erf must also be 1000m² before a double storey home will be approved by the OAC.

3.5 Setbacks

- 3.5.1 First floor levels, if allowed must have a minimum setback from all boundary lines of 5000mm. No relaxation of building lines are allowed relating to double storey homes.

3.6 Golf Course/Open Space (Including Garages)

- 3.6.1 A 5000mm setback for all buildings from the erf boundary facing the golf course is mandatory.
- 3.6.2 A 3000mm setback for all buildings from the erf, boundary facing open spaces (not street facing) is mandatory.
- 3.6.3 Pools should not be closer than 3000mm to the erf boundary facing the golf course.
- 3.6.4 Pools must be at least 3000mm away from the erf boundary line, which are not golf facing.
- 3.6.5 Braais must not be a freestanding structure; they must be integrated into the house and have a minimum distance of 5000mm from the boundary facing the golf course.
- 3.6.6 Trees and plants forming the landscaping may be only of approved species as per schedule to be issued by the Estate Environmental Officer.
- 3.6.7 Boundary fences are not permitted without the permission of the OAC.



3.7 Special Sites

- 3.7.1 The OAC reserves the right to interpret this manual and approve plans at his/it's discretion where the erf site requires special dispensation.

4. BUILT

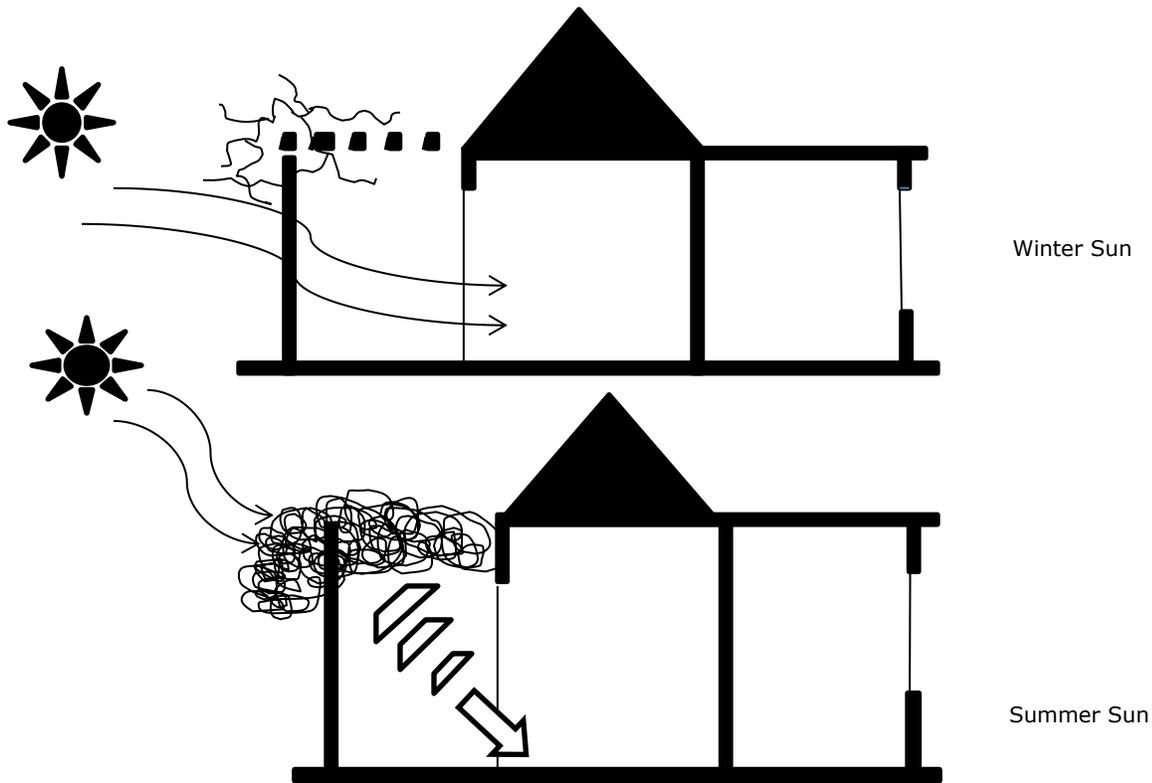


4.1 Plan Shape

4.1.1 A built form of a singular rectangular form or composite regular forms is required unless OAC approves other shapes to align to erven.

4.2 Traditional sun control

Pergolas should be constructed to protect terraces, large windows or doors from the sun. Climbing deciduous plants are encouraged, giving the desired protection for high summer sun, but permitting low winter sun penetration for warmth when they lose their leaves.



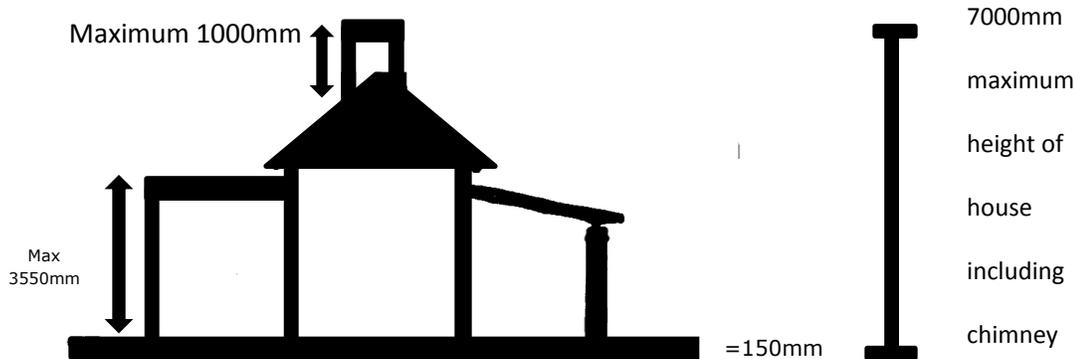
4.3 Height

4.3.1 The height of all ridges of the roofs may not be higher than 7000mm for all houses including the chimneys. The level of the house would be determined in the following way: From the highest boundary line of the erf, whether it is the street side or open space / golf course side, the house can be raised from that level, with a maximum of three brick layers, and the 7m would then be taken from the finished floor level.

4.3.2 All chimneys to be a maximum of 1000mm above the roof.

4.3.3 The height for the top of parapet walls at the flat roofed part of the buildings to be as follows: Houses that have external windows / doors to the height of 2100mm should have a 3600mm high parapet (not higher). If the 3550mm height is exceeded to a maximum of 3840mm, the external windows / doors must be 2400mm high, in order to maintain a good visual proportion.

- 4.3.4 The main structural I-beams, bottom of beam should correspond with top of parapet walls.
- 4.3.5 All fences relating to drying yards should be between 1800mm and 2200mm. No precast walls allowed at the drying yard.
- 4.3.6 The Village and Golf Club may have buildings higher than 7000mm.



5. ROOFS

5.1 Pitched Roofs

5.1.1 Roof Forms

- All main roofs must be pitched roofs.
- All secondary roofs are lean-to roofs (single pitch roof with higher side fixed or leaning on a part of adjacent built form) or low angle roofs concealed behind parapet walls.

5.1.2 Roof to Major Form

- Major plan roofs are roofed individually and connected with a linked element, like a flat roof or a lean-on roof.
- All pitched roofs must have a slope of between 32° and 38°.

5.1.3 Lean-to Roof

- The slope of the roof should be between 5° and 10°.

5.1.4 Flat Roofs & Garage Roofs

- All flat roofs should have a timber lightweight construction, and clip-lock roof sheeting system, with a maximum of 5%.
- All exposed purlins and rafter-ends to be chamfered to estate architect's detail.
- There must be a plaster coping to all parapet walls at flat roofs. (see 8.2)

5.2 Materials

- 5.2.1 The material of the pitched roofs and lean-to roofs is corrugated iron sheeting to be painted with approved colours as per external Finishing schedule.

5.2.2 The low pitch roofs behind parapet walls are to be of clip-lock roofing sheets and the colour scheme is as per External Finishing schedule.

5.3 Roof colour

5.3.1 The roof colour should be Neo Cool Roof Grey.

6. GABLES, EAVES, PARAPET & GUTTERS

6.1 Gables

6.1.1 Gable end glazing should be divided into 4 equal panels, without any intervening framing system (butt-glazed).

6.1.2 NOTE: if there is a chimney, the panel size of the outer panels stays the same; therefore the ones at the chimney are reduced by the size of the chimney.

6.1.3 If the gable end glazing is bricked up, a louver window should be installed. The size of the louver window should be 400mm x 700mm OR 600 x 900mm depending on the size of the gable end, with a 100mm plaster band.

6.2 Eaves

6.2.1 Eaves are to have a 500mm overhang. At the gable the overhang of the roof must be 300mm beyond the wall below it.

6.3 Gutters and Downpipes

6.3.1 Gutters are not allowed unless concealed behind a parapet wall. (No exposed gutters allowed)

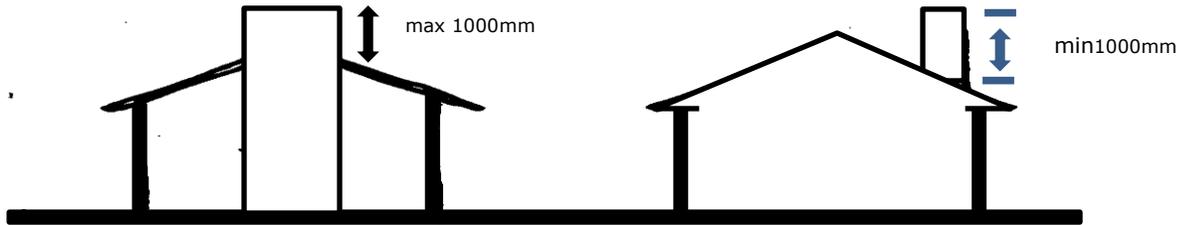
6.3.2 Gutters in such areas should have a minimum width of 300mm to allow for easy cleaning and should have overflows at each end as per estate architect approved detail.

6.3.3 Downpipes must all be built into the walls.(No exposed downpipes are allowed)

6.4 Fascia boards are not allowed.

7. CHIMNEYS

7.1 Chimneys for braais and fire places at the centre of the gable should not be more than 1000mm above the ridge. All other regulations (SABS) in regard to minimum heights above the ridge must be adhered to:



8. WALLS, COLUMNS AND BEAMS

8.1 Masonry wall finish:

8.1.1 Cement finish to plastered exterior walls, with 1 coat plaster primer and 1 coat Neo Natural of textured paint. (Or similar and approved by OAC)

8.1.2 Primary Colours: Gemsbok, Spitzkoppe, Welwetchia, Camel thorn, Dune, Kenya Brown, Kalahari, Rhino, Nguni, Sossusvlei.

8.1.3 For every primary colour is a secondary and finishing colour as per schedule below:

<u>Primary</u>	<u>Secondary</u>	<u>Finishing</u>
Nguni	Welwetchia	Melanie
Dune	Rhino	Melanie
Rhino	Nguni	Melanie
Camelthorn	Rhino	Melanie
Sossusvlei	Rhino	Melanie
Kenya Brown	Rhino	Crete Shore (GR-Y13)
Spitzkoppe	Gemsbok	Melanie
Welwetchia	Nguni	Melanie
Kalahari	Sossusvlei	Crete Shore (GR-Y13)
Gemsbok	Kenya Brown	Crete Shore (GR-Y13)

8.2 Plaster surrounds

8.2.1 All doors and windows to receive a 150mm plaster surround, and to receive a smooth cement plaster finish, unless it is unpractical.

8.2.2 All parapet walls to have a plaster coping between 70mm and 120mm (brick height). The maximum width that the coping should be extended above the wall below is 50mm.

8.2.3 Plaster bands: Where there is a beam over a window, the underside of the beam must line up with the top of the plaster band over the window, in order for the 150mm plaster band to be visible.

8.3 Columns

8.3.1 All columns to be 440mmx440mm with a 100mm wide x 50mm plaster band 100mm from the top of the column.

8.3.2 Steel columns may be used but have to be square, and not less than 75mm or more than 100mm.

8.4 Plinth wall

- 8.4.1 Externally all walls extending more than 500mm below the floor slab level must receive a plinth wall in dry packed natural stone, or, should there be buildings on both sides of the house, the natural stone for the plinth walls on the sides of the house can be used as a feature on the street and / or open space / golf course side of the house.
- 8.4.2 Should decking be used towards the golf course side, open space or street side and be extended more than 150mm from the natural ground level, the following would apply:
The top third should be closed off with decking, and the bottom third should be closed with a natural stone or gabion wall.
Drawings to be approved by the OAC

8.5 Drying yard walls & Gates

- 8.5.1 Drying yard walls to be cladded, only if it is in the general public view.
- 8.5.2 Drying yard gates: Should a gate be installed, the following specifications should be used: The gate is to be at the same height, or lower, than the abutting wall. 50 x 50mm square section, or angle steel to be used, clad with horizontal (100mm – 150mm wide) timber slats (with 10mm – 25mm gaps) or 50 x 50mm infill steel mesh or “design mesh”.
No spikes, ornaments etc. to the top of the gate allowed.

9. WINDOWS

9.1 Materials

- 9.1.1 Windows to be of Aluminium. Colours allowed are: White, Bronze, Charcoal & Natural
- 9.1.2 Sizes of windows to be a square (ratio 1:1) or rectangular (ratio 1:2)

9.2 Lintels

- 9.2.1 There should be a 150mm wide and 20mm thick plaster band around all windows.
- 9.2.2 Lintel heights shall be consistent for each house, with a minimum of 2100mm.
- 9.2.3 Door heights shall be the same or higher than lintel heights.

10. DOORS

10.1 Materials

- 10.1.1 All external door frames and doors are to be of Aluminium, with clear or fully sandblasted glass. No patterns allowed.
- 10.1.2 Colours for the door frames are: White, Bronze, Charcoal & Natural (only one colour per house)
- 10.1.3 Smoked glass allowed.
- 10.1.4 Colours for smoked glass allowed are:
Shadow light 25 or Shadow light 50, or to be approved by the OAC.

10.2 Garage doors

10.2.1 Colours allowed are only: White, Bronze or Charcoal

10.2.2 Only the block form or horizontal panels are allowed. See pictures for the patterns below.



11. SHUTTERS

11.1 Shutters are optional. Samples and drawing need to be approved by OAC before installation.

12. RETAINING STRUCTURES

12.1 The retaining structures should be cladded with a dry-packed stone.

13. BOUNDARY WALLS & FENCES

13.1 Boundary walls or fences are not permitted in the estate except where the OAC permits it to deal with specific site situations that cannot otherwise be resolved.

13.2 No precast walls will be allowed.

13.3 Where boundary walls are permitted, the following specifications should be adhered to:

13.3.1 Boundary wall height between houses to be 2000mm from natural ground level and to be a 220mm brick wall, plastered and painted both sides;

13.3.2 Gabion walls connecting the boundary wall to the house, to be constructed of:

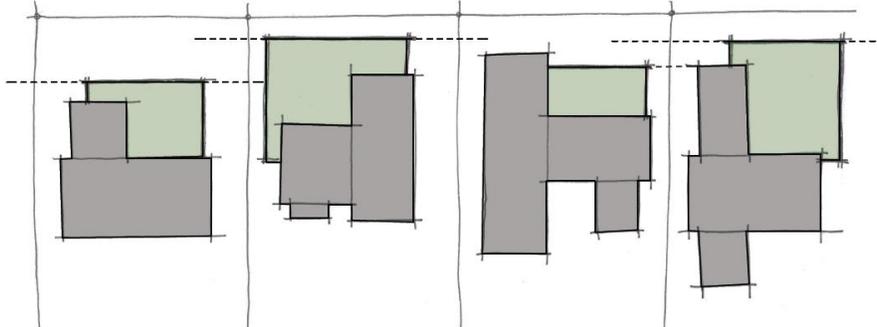
a) Reinforcing mesh (ref 200) 6000 x 2400 with a

b) Square tubing frame

c) Filled with natural stone or Wag 'n Bietjie (Zisiphusmuicronate) trees, trimmed to form a "green wall".

13.3.3 Thickness of walls to be 300mm

- 13.4 Garden walls are not a requirement of Omeya and are not encouraged. It simply allows a homeowner to enclose his back garden to keep children safe and animals out.
- 13.4.1 Height of a maximum of 900 mm above natural ground level.
 - 13.4.2 Natural stone cladding to fit in with surrounding.
 - 13.4.3 Clear distance between neighbour's walls should be a minimum of 3 meters to allow for animals to move freely.
 - 13.4.4 No garden wall should line-up with its neighbour's garden wall and will be checked by the Omeya planning committee



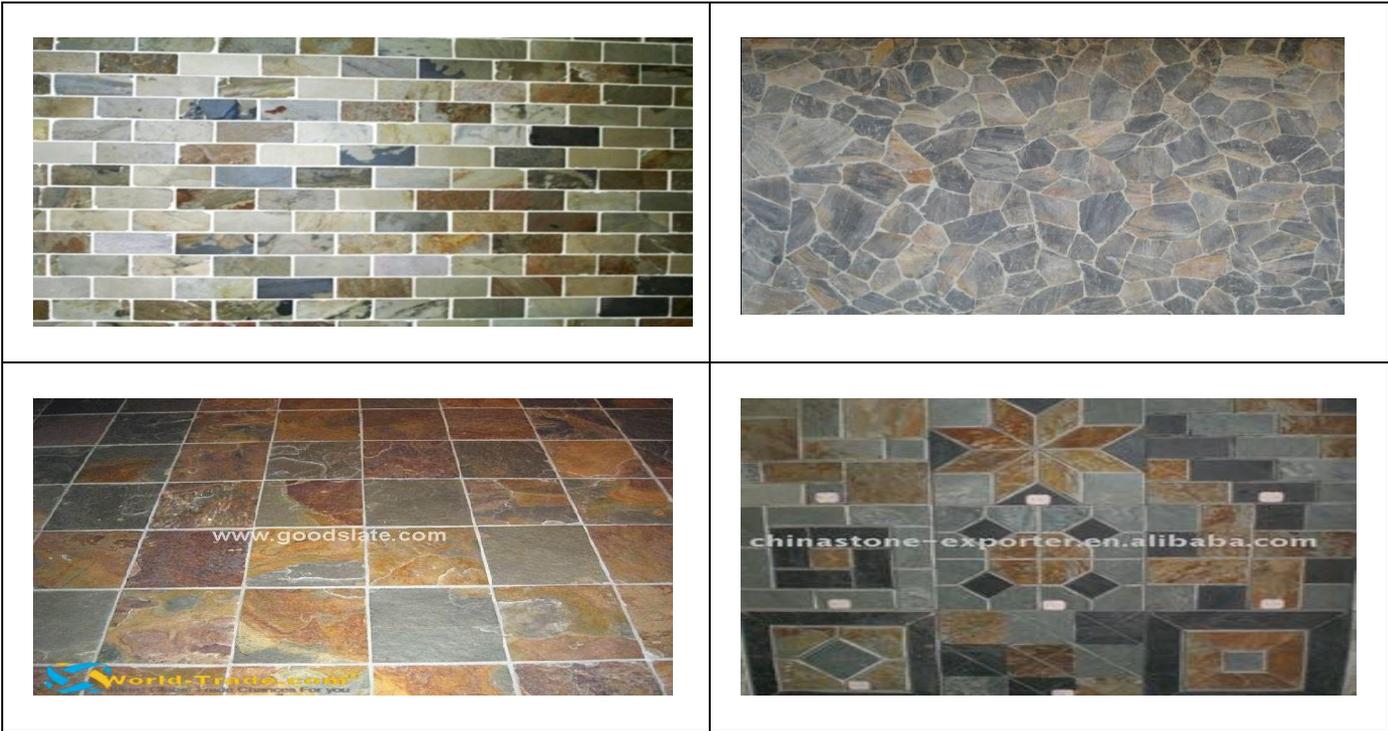
14. CLADDING

- 14.1 The aesthetic idea is that the cladding is done with a natural look, which should be easy on the eye, and not be distracting from the natural landscape, or surrounding environment, being a subtle and tasteful feature, and not a loud or overbearing statement.
- 14.2 Allowed:
- 14.2.1 Colours preferred: natural browns, tans, greys (not harsh black or white)
 - 14.2.2 Materials: slate, quartzite, sandstone, mica or to be approved by the OAC.
 - 14.2.3 Only irregular rectangular cut stone or cladding to be applied in a random horizontal pattern
 - 14.2.4 Only good quality workmanship
- 14.3 Not allowed:
- 14.3.1 Any other material than natural stone
 - 14.3.2 No tiles that are intended for floors, such as slasto or square slate tiles
 - 14.3.3 Harsh colours, or black & white
 - 14.3.4 No regular or repeated patterns
 - 14.3.5 No curved or square patterns

GOOD EXAMPLES:



BAD EXAMPLES:



15. PAVERS

- 15.1 Only natural, un-obstructive colours to be used, like browns, blacks, and greys. No elaborate patterns allowed with many colours (also referred to as "crazy paving".)
- 15.2 Not more than 2 types of paving to be used. i.e. interlocks to driveway, and paving slabs to the side of the house.
- 15.3 Smart stone, interlockers, 500 x 500mm paving slabs, and also combined with pebbles, are acceptable or concrete slabs with exposed aggregate.

16. CANVAS TO VERANDAH'S

- 16.1 A canvas wind / sun shade may be installed on the rear veranda of a property.
- 16.2 The following will apply:
 - 16.2.1 A selection of approved fabrics will be available from the Omeya offices.
 - 16.2.2 No canvasses are allowed on the front facade, back only.
 - 16.2.3 Canvas to be located in between columns / posts of veranda, in straight panels only
 - 16.2.4 Only one colour (from the approved list) may be used per house.
 - 16.2.5 No patterns allowed
 - 16.2.6 If windows are used, the following will apply:
 - 16.2.6.1 One third of the panel window and two thirds canvas.
 - 16.2.6.2 300mm canvas frame with clear window.
 - 16.2.6.3 Windows to either be square or rectangular.
 - 16.2.6.4 Only one window allowed per panel.
 - 16.2.7 Each panel must move in a track, or a structure to assure that the panels do not flap around in the wind
 - 16.2.8 Each installation is subject to scrutiny from the OAC for approval.

17. BRAAIS

- 17.1 No freestanding braais/barbeque grills are permitted. All such structures must be integrated with the main building, and chimneys must comply with the requirements of section 7 of this document.

18. SWIMMING POOLS

- 18.1 Swimming pools are optional and must conform to the OAC position and size. Exceptions will be dealt with on an individual basis and approval must be obtained.
- 18.2 Pool covers must be fitted to all swimming pools.

19. PONDS

19.1 Ponds may be allowed as landscaping elements and will be considered on application to the OAC.

20. CONSERVATORIE

20.1 Not permitted.

21. PARKING, DRIVEWAYS & PARKING BAYS

21.1 No Off-street/kerb parking will be allowed.

22. GARAGES & CARPORTS

22.1 No shade net carports of any kind are allowed.

22.2 No carports are allowed closer than 1500mm from the boundary line..

23. OUTBUILDINGS

23.1 No outbuildings of any nature will be allowed, except garages and carports.

24. EXTERIOR FINISHES

24.1 Doors and Windows (See section 9 and 10)

24.1.1 Burglar bars or security doors must be approved by the OAC.

24.1.2 Alarm systems connected to the doors may be installed and alarm systems will be connected to a central security control room at the entrance gate.

24.2 Garage Doors

24.2.1 Electrical, manual or roller shutter doors. (See section 10.2)

25. LANDSCAPING

25.1 Refer to estate rules and regulations for permitted species, and extent of landscaping allowed.

26. RAILINGS

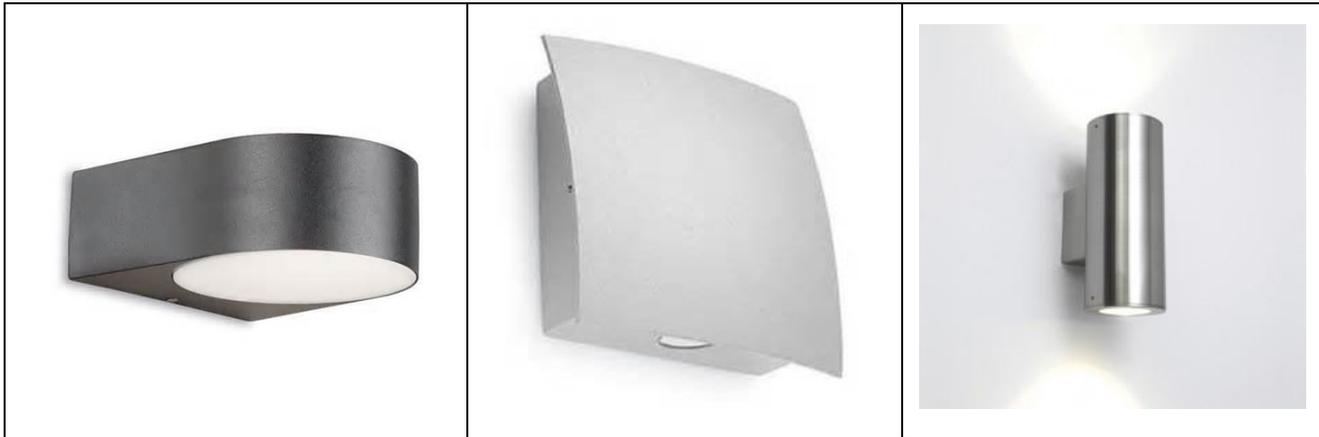
26.1 Round Stainless Steel railings to be used with stainless steel wires

26.2 Or, Round Mild Steel railings with stainless steel wires. Mild steel to be painted to go with the

colours of the house.

27. EXTERNAL LIGHTING

- 27.1 No Flood Lights allowed except in very special security conditions with merit. Security lights may be installed temporarily with the consent of the OAC and the Omeya Security Committee (OSC). Such security lights must be fitted with movement sensors in order to ensure that it is not permanently on during nights, but only when movement activates it and goes out again after a pre-set time. The OAC and OSC, when conditions and merit have changed, may cancel its approval and the Home Owner has to deactivate it again.
- 27.2 Light fixture must be installed to illuminate house numbers as per OAC requirements and 24.7.
- 27.3 Vertical light only: Only light fittings that are up and / or down lighters (vertical light) can be used, washing the wall it is against, and creating reflected light. (Off the wall surface, rather than causing direct light.) This also includes down lighters in a bulkhead over the garage door.
- 27.4 No horizontal light: No light fittings are to be used that emits it's light forward or horizontally, shining in the eyes or a passer-by. A neighbouring house owner retains the right to have fittings changed if his neighbour has fitted his house with lights that are intrusive in terms of shining into his house / property.
- 27.5 Voltage limit: The voltage per light should be kept to not more than 60W or similar.
- 27.6 Aesthetics: Light fittings should be minimalist and devoid of severe patterns and / or colours, and not be overly large. Colours: Silver, Black and Grey.





28. SERVICES

28.1 Satellite Dishes

- 28.1.1 Satellite dishes and TV aerials to be fitted in a concealed location (affixed as low as possible to the interior of parapet walls) and location should be approved by OAC.
- 28.1.2 Only 1 dish is permitted per house.
- 28.1.3 Any dish larger than the standard supplied DSTV dish is not allowed.

28.2 Service Pipes drainage pipes

- 28.2.1 A sewer connection will be provided at the lowest end on the erf.
- 28.2.2 All Sewer and vent pipes must be concealed in vertical ducting within the wall plane of the building. All gutters and downpipes must be concealed. No exposed gutters/downpipes will be allowed.

28.3 Air Conditioning

- 28.3.1 Air conditioning condenser units to be installed according to suppliers specifications to comply with manufactures guarantee requirements at ground level, or on the flat roof hide behind the parapet walls an the location on the roof as determined by the supplier. The location of air conditioned condensers at ground should be determined by the supplier in conjunction and approval by OAC.

28.4 Water Meter

- 28.4.1 A 20mm diameter water meter must be purchased from the Home Owners Association. This must be kept accessible to the relevant authorities.

28.5 Electrical connection

- 28.5.1 An electrical connection must be purchased from the Home Owners Association and will be single phase.(max 60A)

28.6 Solar Water Systems

- 28.6.1 The use of solar systems with small back-up elements is encouraged, preferably 2kW or less.
- 28.6.2 Solar panels are to be installed flush on pitched roofs or hidden behind parapet walls.
- 28.6.3 Storage tanks should be hidden in garages, behind parapet walls, in courtyards or in roof spaces and not visible storage tanks shall be allowed, and specifically no panel mounted tank shall be allowed unless it is completely hidden behind parapet walls.
- 28.6.4 It is recommended that only indirect systems be used due to the chemical composition of the water on site.
- 28.6.5 No elevated touch system.
- 28.6.6 Solar systems shall be shown on drawings to enable the OAC to approve the system for compliance with the guidelines.

28.7 Signage/ House Numbers

- 28.7.1 All homes must have an electrical sign board indicating the house number, with a daylight switch as per specifications of the OAC.
- 28.7.2 The sign has a set size and detail requirement. Specifications available at the Omeya office.
- 28.7.3 All signs to be located to the front of the house, on the wall closest to the road. This position must be indicated on the drawing submitted to the OAC for approval.

28.8 Laundry

- 28.8.1 All clothing lines must be concealed from view within the drying yard.
- 28.8.2 Where no drying yard is chosen then clothing must be dried internally.

28.9 External Devices (including geysers and electrical pumps)

- 28.9.1 Any external devices, which are attached to the home whether electrical or not, must be approved by the OAC prior to erection so as to ensure it meets the requirements of Omeya Architectural Guidelines. They should be concealed.

28.10 External Water Taps

- 28.10.1 Only two external water tap allowed for garden. One to the front of the house and one to the back of the house. The one at the front of the house must not be visible from the road. Should be concealed.

28.11 Gas Bottles

- 28.11.1 All gas bottles should comply with the rules and regulations of City of Windhoek. (See attachment)
- 28.11.2 Gas Bottles should also comply with section 28.9.1

28.12 Electrical Kiosks

- 28.12.1 Home owners to plan their houses keeping the electrical kiosk in mind
- 28.12.2 Electrical Kiosks can be moved, but permission should be obtained from Omeya beforehand.

- 28.12.3 Should the home owner wish to move the electrical kiosk, it would be at the cost of the home owner themselves
- 28.12.4 Should the electrical kiosk be move to the boundary of a neighbouring erf, permission should be obtained from the neighbour beforehand.

29. CITY OF WINDHOEK

- 29.1 At all times building regulations of the City of Windhoek need to be adhered to in addition to the Architectural guidelines.
- 29.2 Where the Architectural guidelines are more restrictive than the City of Windhoek's building regulations, the architectural guidelines will prevail.

30. APPROVAL OF DRAWINGS: SPECIAL CONDITIONS

- 30.1 Approval of drawings by Omeya Architectural Committee does not mean that:
 - 30.1.1 It replaces the need to submit and get it approved by the City of Windhoek.
 - 30.1.2 Drawings have been checked for technical correctness.
 - 30.1.3 The designs conform to all aspects of the Architectural Guidelines of Omeya.
- 30.2 It is and remains the responsibility of the homeowner to appoint an engineer to ensure the foundation designs and structural components of the building complies with the prescribed standards.
- 30.3 It is and remains the responsibility of the homeowner to appoint a surveyor to confirm the erf boundaries, and plot the building correctly.
- 30.4 The following drawings are required for approval by Omeya Architectural Committee:
 - 30.4.1 Site plan
 - 30.4.2 Plan view
 - 30.4.3 Four elevations
 - 30.4.4 Two sections
 - 30.4.5 Eaves details
 - 30.4.6 Foundation details
 - 30.4.7 Firewall detail
 - 30.4.8 Garden wall detail
 - 30.4.9 Door and Window ScheduleIt is not a requirement to submit any detail drawings, finishing schedules, sanitary fittings.
- 30.5 The following must be submitted:
 - 30.5.1 2 sets of A1 paper drawings
 - 30.5.2 1 CD with all drawings in pdf, and dwg / dxf format
 - 30.5.3 Submission letter completed
 - 30.5.4 Letter from the neighbour's where applicable
 - 30.5.5 Submission fee to be paid at the office.

30.5.6 When amended plans are submitted the new part should be coloured with red pencil.

30.6 On approval one set of drawings, stamped "Approved" and signed drawings will be returned to the owner.